

# LAUREL ELEMENTARY SCHOOL

1401 LAUREL ST. JUNCTION CITY, OR 97448

## SCOPE OUTLINE PACKAGE



LAUREL ELEMENTARY



## APPLICABLE CODE

2014 OREGON STRUCTURAL SPECIALTY CODE (OSSC)  
2014 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC)  
2009 ICC / ANSI A117.1 ACCESSIBILITY CODE (ANSI)  
2014 OREGON FIRE CODE (OFC)  
LANE COUNTY ENVIRONMENT AND HEALTH CODE, CHAPTER 9  
JUNCTION CITY MUNICIPAL CODE (JCMC)

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## PROJECT TEAM

OWNER  
Junction City School District  
325 Maple Street  
Junction City, OR 97488  
(541) 998-6311

OWNER'S REPRESENTATIVE  
deChase Miksis Development, LLC  
PO Box 11942  
Eugene, OR 97440  
541-232-2508  
Mark Miksis  
Jordan Pfeifer

ARCHITECT  
DLR Group  
421 SW Sixth Avenue Suite 1212  
Portland, OR 97204  
(503) 274-2675  
Lisa Johnson, Principal in Charge  
Elizabeth Delorme, Project Manager

ELECTRICAL ENGINEERS  
DLR Group  
421 SW Sixth Avenue Suite 1212  
Portland, OR 97204  
(503) 274-2675

SPECIAL INSPECTIONS  
TBD (Provided by owner)

JUNCTION CITY SCHOOL DISTRICT

12/12/2017

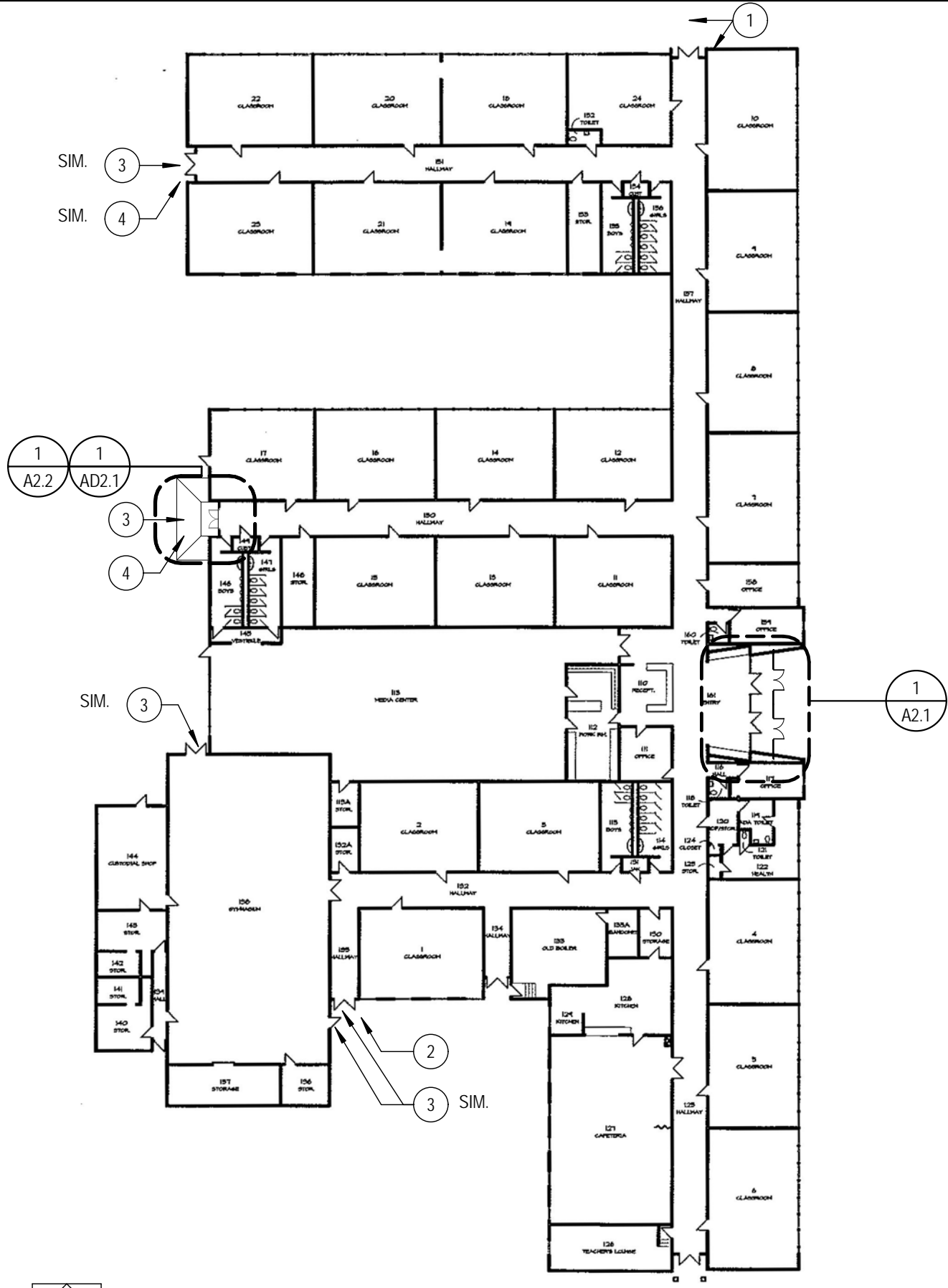
## PROJECT DESCRIPTION

The scope of the project includes:

New security vestibule - Installation of new interior storefront frames and doors system with associated card reader and surveillance camera to provide secured vestibule space, the entry doors will be shut down from outside during school hours and can only access with card readers or operated by management group from the office. It will remain as emergency exit during school hours with panic hardware installed on the inside faces of the doors.

ADA Improvement - Refer to schedule on Sheet A14.0, items to be upgraded are Priority list 1 from the District ADA Compliance Report done by WBG in 1992.

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# OVERALL FLOOR PLAN

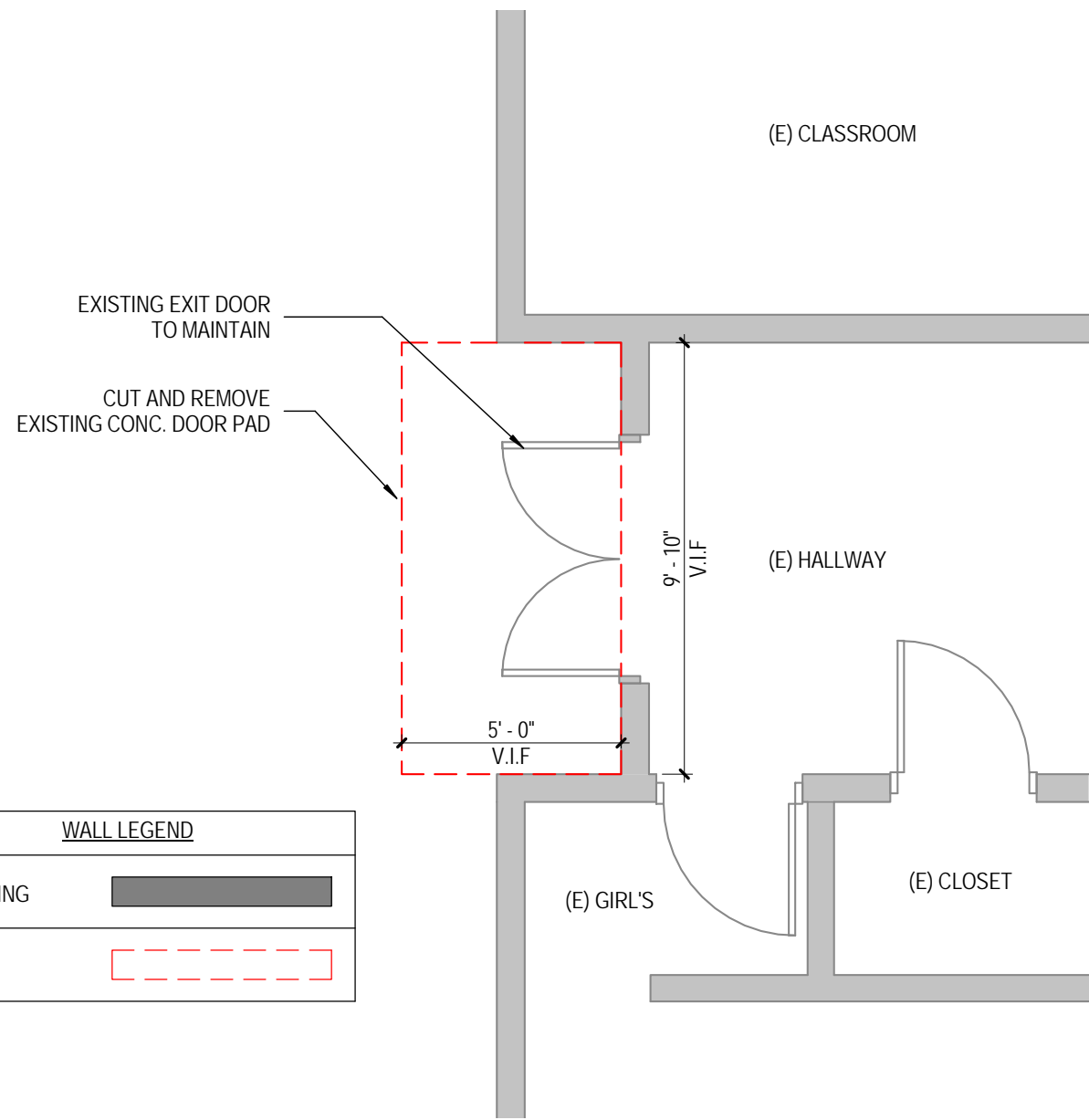
SCALE: 1" = 40'-0"

SCHEMATIC DESIGN

## OVERALL FLOOR PLAN LAUREL ELEMENTARY - VESTIBULE AND IMPROVEMENT

A1.0  
74-17108-01  
12/12/2017

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| WALL LEGEND |  |
|-------------|--|
| EXISTING    |  |
| DEMO        |  |

1 ENLARGED DEMO FLOOR PLAN - EXTERIOR DOOR PAD  
 AD2.1 SCALE: 1/4" = 1'-0"

**DEMOLITION NOTES**

- A. DEMOLITION GENERAL NOTES APPLY TO ALL DEMOLITION SHEETS.
- B. COORDINATE DEMOLITION AND PHASING EFFORTS WITH ARCHITECT AND OWNER'S REPRESENTATIVES. EVERY EFFORT SHALL BE MADE TO MINIMIZE DISRUPTION OF OWNER'S OPERATIONS AND TO PROVIDE BUILDING USER'S SAFETY. EXCESSIVE NOISE OR VIBRATION SHALL BE PRE-APPROVED AND COORDINATED WITH OWNER'S REPRESENTATIVE.
- C. COORDINATE DISRUPTION OF UTILITY SERVICES WITH OWNER AND AS SPECIFIED.
- D. CONSTRUCT TEMPORARY CONSTRUCTION PARTITIONS WITHIN EXISTING BUILDING WHICH OFFER A ONE-HOUR ENCLOSURE TO ISOLATE DEMOLITION AND CONSTRUCTION WORK FROM GENERAL PUBLIC AND AS DEEMED NECESSARY BY OWNER AND CODE OFFICIAL HAVING JURISDICTION. COORDINATE LOCATIONS WITH OWNER AND MAINTAIN MEANS OF EGRESS THROUGHOUT THE WORK.
- E. MAINTAIN A SECURE AND WEATHER-TIGHT ENCLOSURE.
- F. VERIFY EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
- G. REMOVE EXISTING WALLS, DOORS, MILLWORK, PLUMBING FIXTURES, CEILINGS, SOFFITS, MARKERBOARDS, ETC. IN THEIR ENTIRETY AND AS REQUIRED TO EXECUTE DEMOLITION AND CONSTRUCTION WORK DESCRIBED ON THE DRAWINGS.
- H. THE OWNER SHALL RESERVE THE RIGHT TO SALVAGE ANY MATERIALS.
- I. PROVIDE PROTECTION FOR EXISTING BUILDING MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO DEMOLITION OR CONSTRUCTION-RELATED INCIDENT PERFORMED UNDER THIS CONTRACT.
- J. REPAIR OR REPLACE ITEMS DAMAGED AS A RESULT OF DEMOLITION OR CONSTRUCTION TO MATCH EXISTING FINISH AND/OR CONDITION.
- K. EXISTING MATERIALS SHALL NOT BE REUSED UNLESS NOTED OTHERWISE OR AS AUTHORIZED BY ARCHITECT.
- L. VERIFY AND MAINTAIN LOCATION OF EXISTING POWER, COMMUNICATION AND DATA CABLES TO PREVENT INTERRUPTION OF SERVICE.
- M. PATCH FLOOR, WALL AND CEILING PENETRATIONS RESULTING FROM REMOVAL OR REROUTING OF NEW OR EXISTING PIPING, DUCTWORK, CONDUIT, ETC. AS REQUIRED TO MAINTAIN FIRE SEPARATIONS. MATCH FINISH OF NEW OR EXISTING ADJACENT SURFACES.
- N. CAP DISCONNECTED MECHANICAL PIPING LINES WITHIN WALL OR FLOOR. PATCH AND FINISH AS REQUIRED TO MATCH NEW OR EXISTING ADJACENT SURFACES.
- O. SEE MECHANICAL AND ELECTRICAL DRAWINGS AND NOTES FOR FURTHER SEQUENCING AND SCOPE OF WORK.
- P. AVOID DISTURBING OF SOILS WITHIN ZONE OF INFLUENCE AROUND EXISTING FOOTINGS AND FLOOR SLABS AS DIRECTED BY GEOTECHNICAL ENGINEER.
- Q. WHERE CMU WALLS ARE INDICATED TO BE REMOVED; PREPARE ADJACENT WALLS TO RECEIVE NEW PATCH/FINISH BY REMOVING CMU IN TOOTH-IN PATTERN BOTH SIDES OF DEMOLITION FOR CONTRACTOR TO TOOTH IN NEW CMU PATCHES.
- R. WHERE PLASTER/STUD WALLS ARE INDICATED TO BE REMOVED; PREPARE ADJACENT WALLS TO RECEIVE NEW PATCH/FINISH BY SAWCUTTING ADJACENT PLASTER FINISH A MINIMUM OF 12 INCHES BEYOND DEMOLITION.

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SCHEMATIC DESIGN

**ENLARGED DEMO FLOOR PLAN - EXTERIOR DOOR  
 PAD REL ELEMENTARY - VESTIBULE AND &  
 IMPROVEMENT**

AD2.1

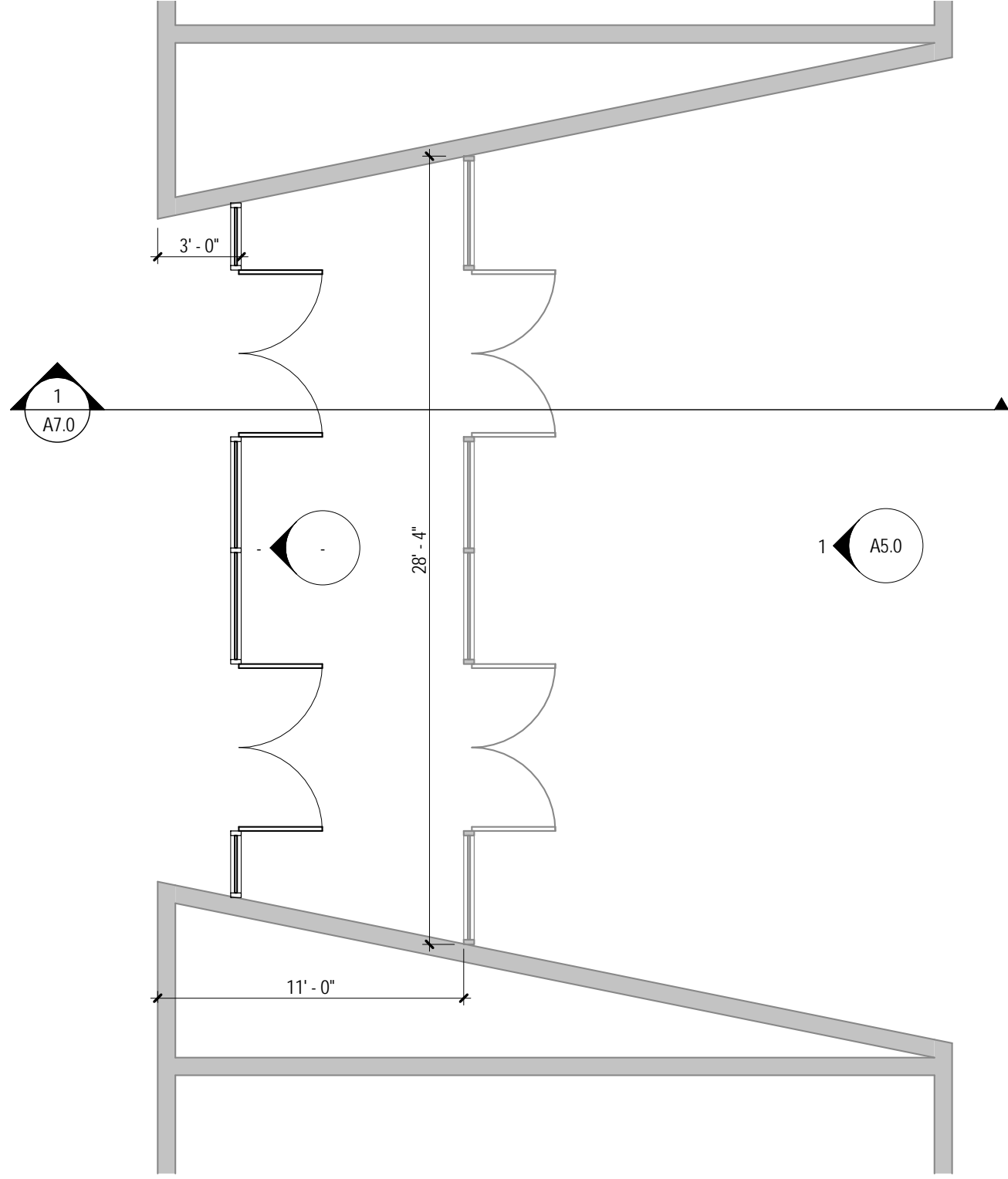
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1  
A2.0

# ENLARGED FLOOR PLAN - SECURITY VESTIBULE OPTION A

SCALE: 3/16" = 1'-0"



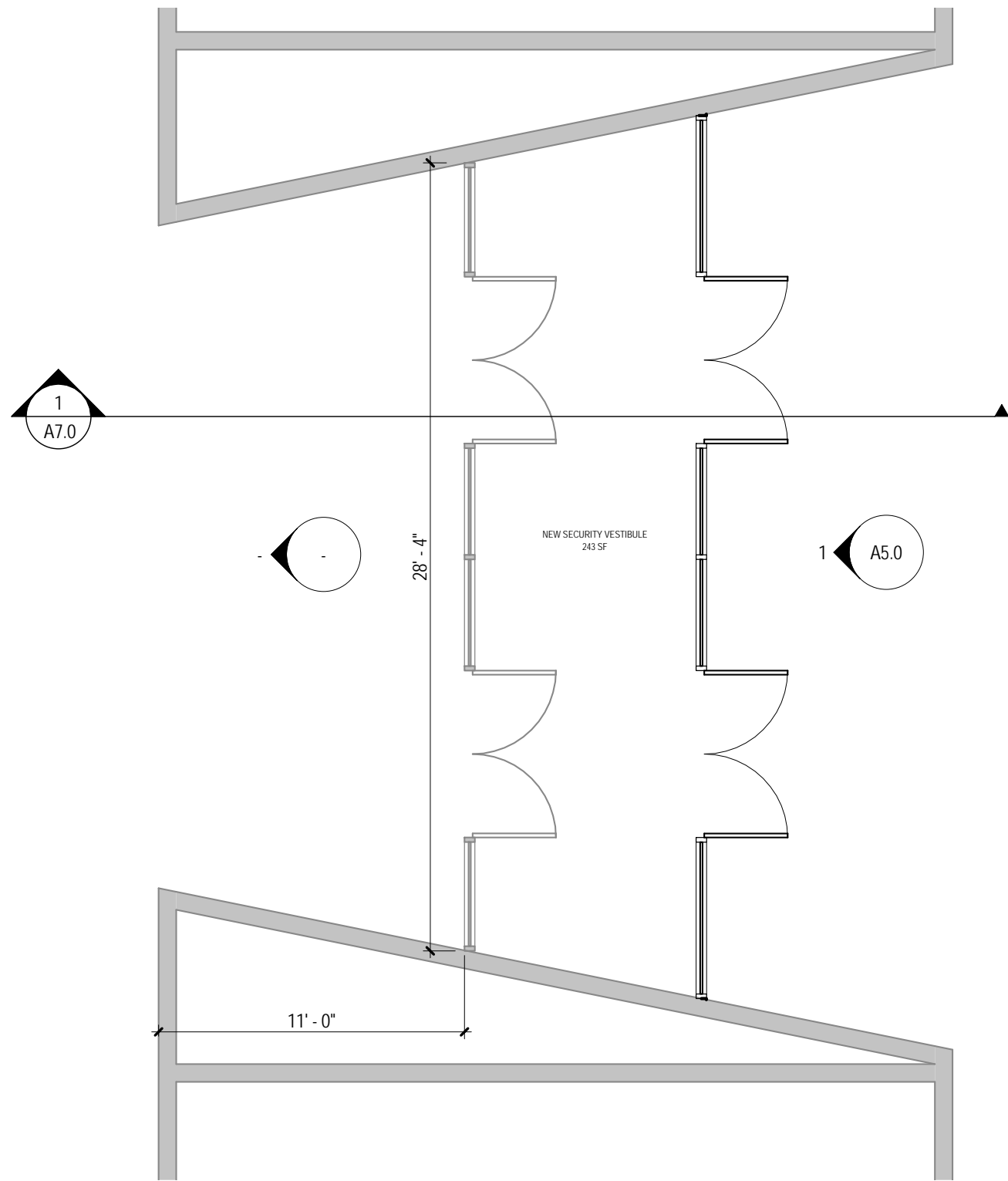
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**A2.0**

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**ENLARGED PLAN - SECURITY VESTIBULE OPTION A**  
LAUREL ELEMENTARY - VESTIBULE AND &  
IMPROVEMENT

SCHEMATIC DESIGN



1 ENLARGED FLOOR PLAN - SECURITY VESTIBULE OPTION B  
 A2.1 SCALE: 3/16" = 1'-0"

GENERAL NOTES: APPLIED TO ALL SHEETS

1. ALL DIMENSIONS ARE ACTUAL AND ARE TO FACE OF METAL STUDS, FACE OF MASONRY OR CENTERLINE OF COLUMN, UNLESS NOTED OTHERWISE.
2. ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED, AND INDICATED IN THE CONTRACTOR'S BID.
3. NO ASBESTOS OR PCB CONTAINING MATERIALS SHALL BE USED ON THIS PROJECT.
4. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF ALL DEBRIS GENERATED BY CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL BE IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. THE PREMISES SHALL BE KEPT CLEAN AND FREE FROM ALL WASTE MATERIALS.
5. GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTOR DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
6. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
7. ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILINGS OR IN ARCHITECT APPROVED UTILITY SPACES IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL EXPOSED ITEMS ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACES UNLESS SCHEDULED FOR AN ACCENT COLOR.
8. ALL PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE SEALED WITH SEALANT. ALL PENETRATIONS THROUGH WALLS AND FLOORS OF FIRE AND/OR SMOKE RESISTANT CONSTRUCTION SHALL BE SEALED WITH FIRE STOPPING SYSTEMS AS REQUIRED TO ACHIEVE THE RESPECTIVE FIRE RATING AND/OR SMOKE STOPPAGE.
9. ON INTERIOR SIDE OF ALL EXTERIOR PENETRATIONS PROVIDE AIR BARRIER CAULKING OR SEALANT TO PREVENT AIR LEAKS. AT EXTERIOR SIDE OF ALL EXTERIOR PENETRATIONS, PROVIDE WEATHER BARRIER CAULKING OR SEALANT TO PREVENT MOISTURE PASSAGE.

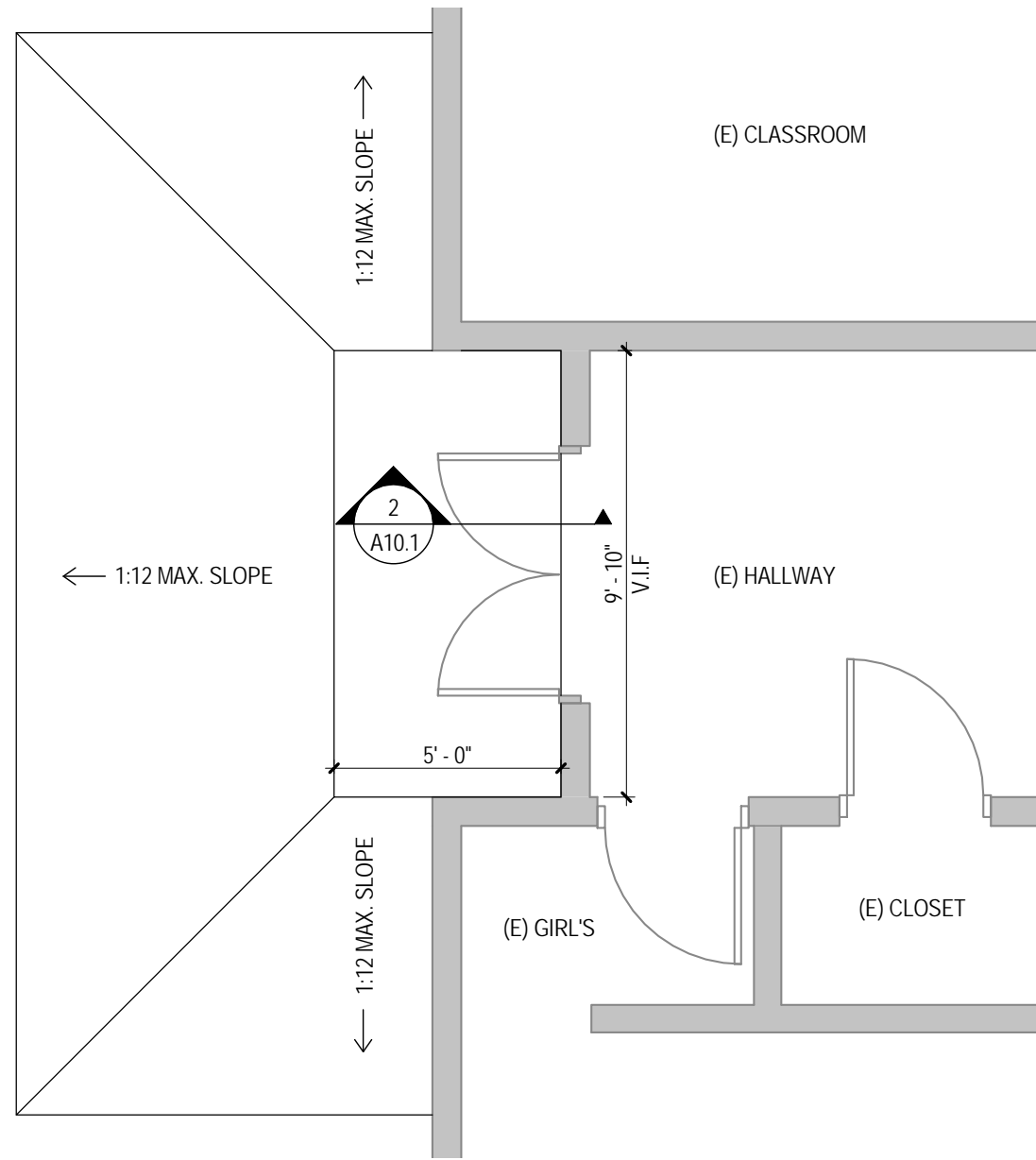
SCHEMATIC DESIGN

**ENLARGED PLAN - SECURITY VESTIBULE OPTION B  
 LAUREL ELEMENTARY - VESTIBULE AND &  
 IMPROVEMENT**

**A2.1**

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1 ENLARGED FLOOR PLAN - EXTERIOR DOOR PAD  
 A2.2 SCALE: 1/4" = 1'-0"

**GENERAL NOTES: APPLIED TO ALL SHEETS**

1. ALL DIMENSIONS ARE ACTUAL AND ARE TO FACE OF METAL STUDS, FACE OF MASONRY OR CENTERLINE OF COLUMN, UNLESS NOTED OTHERWISE.
2. ALL ASPECTS OF THE WORK AND ITEMS NOT SPECIFICALLY MENTIONED, BUT WHICH ARE NECESSARY TO MAKE A COMPLETE WORKING INSTALLATION, SHALL BE INCLUDED, AND INDICATED IN THE CONTRACTOR'S BID.
3. NO ASBESTOS OR PCB CONTAINING MATERIALS SHALL BE USED ON THIS PROJECT.
4. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR PROPER REMOVAL AND DISPOSAL OF ALL DEBRIS GENERATED BY CONSTRUCTION OF THIS PROJECT. THE REMOVAL AND DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL BE IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. THE PREMISES SHALL BE KEPT CLEAN AND FREE FROM ALL WASTE MATERIALS.
5. GENERAL CONTRACTOR SHALL PROTECT NEW CONSTRUCTION FROM DAMAGE BY ALL TRADES. ALL SUCH DAMAGE CAUSED BY THE CONTRACTOR DURING THE COURSE OF THIS WORK SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
6. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO ORDERING OR INSTALLING MATERIALS OR EQUIPMENT.
7. ALL PIPING AND CONDUITS SHALL BE CONCEALED WITHIN WALLS, UNDERGROUND, ABOVE CEILINGS OR IN ARCHITECT APPROVED UTILITY SPACES IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. EXPOSED ITEMS MUST BE LOCATED IN AREAS APPROVED BY THE ARCHITECT. EXPOSED ITEMS SHALL BE INSTALLED AND FINISHED TO PROVIDE MINIMAL VISUAL IMPACT. ALL EXPOSED ITEMS ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACES UNLESS SCHEDULED FOR AN ACCENT COLOR.
8. ALL PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE SEALED WITH SEALANT. ALL PENETRATIONS THROUGH WALLS AND FLOORS OF FIRE AND/OR SMOKE RESISTANT CONSTRUCTION SHALL BE SEALED WITH FIRE STOPPING SYSTEMS AS REQUIRED TO ACHIEVE THE RESPECTIVE FIRE RATING AND/OR SMOKE STOPPAGE.
9. ON INTERIOR SIDE OF ALL EXTERIOR PENETRATIONS PROVIDE AIR BARRIER CAULKING OR SEALANT TO PREVENT AIR LEAKS. AT EXTERIOR SIDE OF ALL EXTERIOR PENETRATIONS, PROVIDE WEATHER BARRIER CAULKING OR SEALANT TO PREVENT MOISTURE PASSAGE.

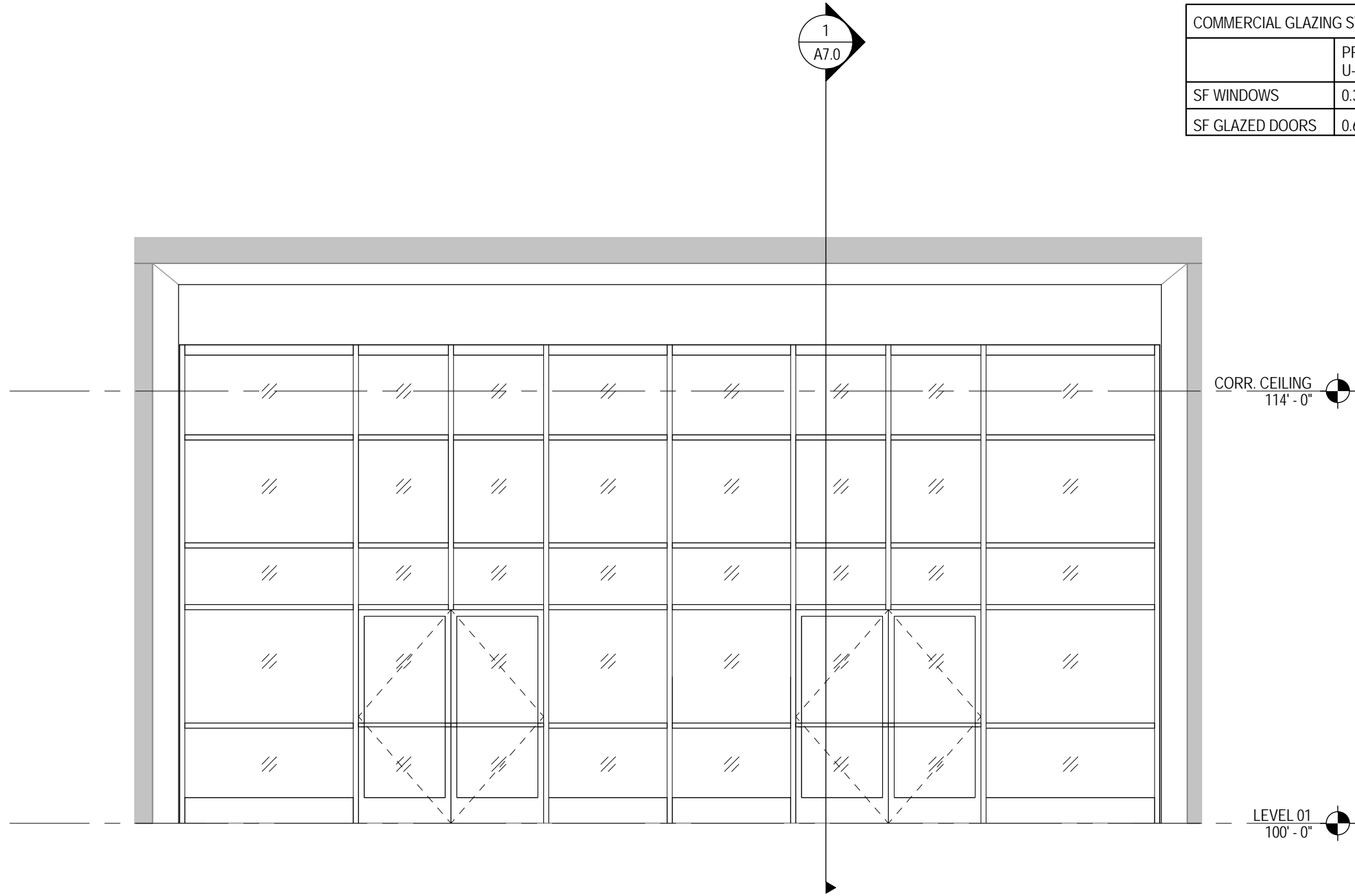
SCHEMATIC DESIGN

**ENLARGED FLOOR PLAN - EXTERIOR DOOR PAD  
 LAUREL ELEMENTARY - VESTIBULE AND &  
 IMPROVEMENT**

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| COMMERCIAL GLAZING SYSTEM (SF) |                  |               |
|--------------------------------|------------------|---------------|
|                                | PROPOSED U-VALUE | PROPOSED SHGC |
| SF WINDOWS                     | 0.38             | 0.35          |
| SF GLAZED DOORS                | 0.60             | 0.35          |

1 EXTERIOR SF ELEVATION - SECURITY VESTIBULE OPTION B  
 A5.0 SCALE: 1/4" = 1'-0"

SCHEMATIC DESIGN

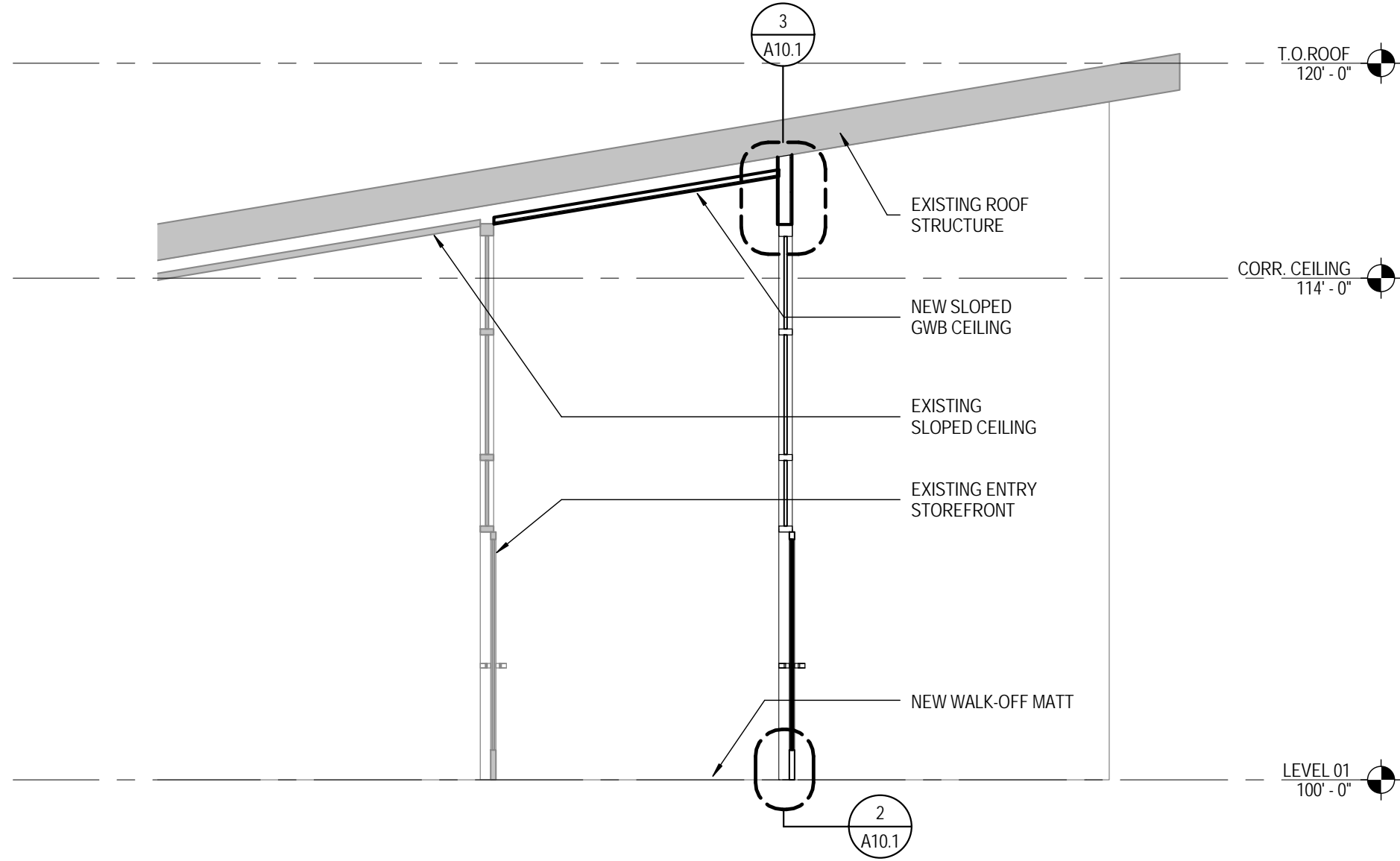
**EXTERIOR ELEVATION - SECURITY VESTIBULE  
 LAUREL ELEMENTARY - VESTIBULE AND &  
 IMPROVEMENT**

A5.0

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1 SECURITY VESTIBULE SECTION  
 A7.0 SCALE: 1/4" = 1'-0"

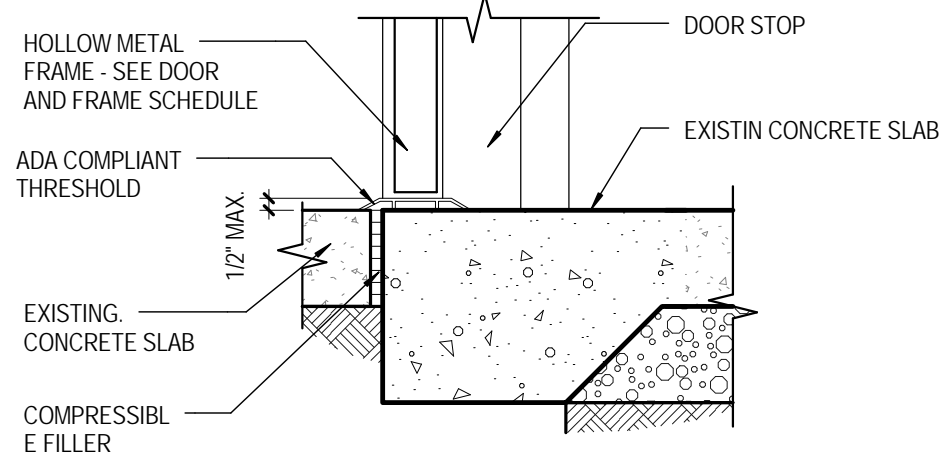
SCHEMATIC DESIGN

**WALL SECTION - SECURITY VESTIBULE**  
**LAUREL ELEMENTARY - VESTIBULE AND & IMPROVEMENT**

**A7.0**  
 74-17108-01  
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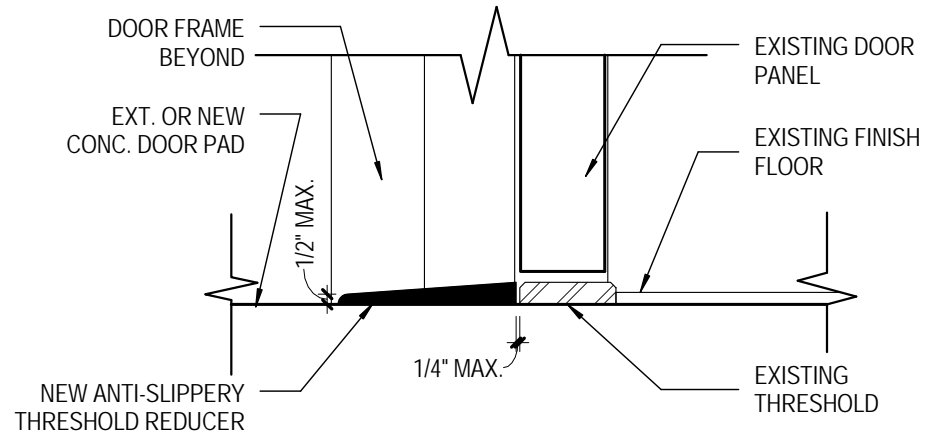
EXTERIOR SIDE



### 1 SF DOOR SILL

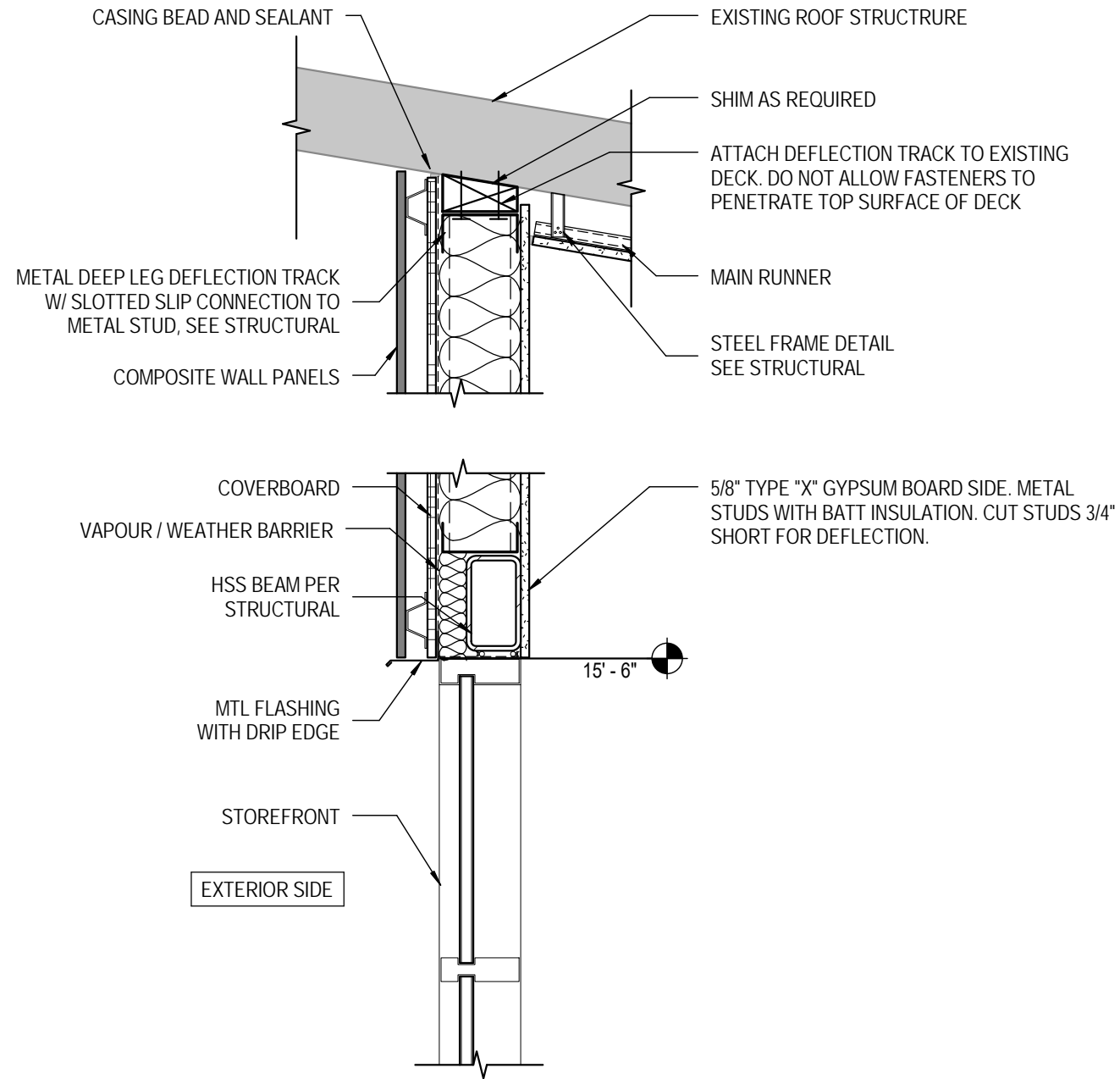
A10.1 SCALE: 1 1/2" = 1'-0"

EXTERIOR SIDE



### 2 ADA DOOR THRESHOLD REDUCER

A10.1 SCALE: 3" = 1'-0"



### 3 SF HEAD DETAIL

A10.1 SCALE: 1" = 1'-0"

SCHEMATIC DESIGN

DETAILS  
LAUREL ELEMENTARY - VESTIBULE AND  
IMPROVEMENT

A10.1

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| ROOM, AREA OF ELEMENT | LOCATION OF POTENTIAL BARRIER     | PHOTO # | DOJ PRI | DESCRIPTION OF POTENTIAL BARRIER   | ADA CODE      | IMPROVEMENT ACTION  |
|-----------------------|-----------------------------------|---------|---------|--|---------------|---|
| PARKING               | NORTH PARKING LOT                 | 1       | 1       | VAN ACCESSIBLE SPACES ARE NOT DESIGNED AS RESERVED BY SIGNAGE                  | 4.6.4         | CONVERT ONE OF THE ADA SIGNAGE INTO VAN PARKING SIGNAGE   |
| RAMPS                 | RAMP FROM PARKING LOT TO SIDEWALK | 1       | 1       | RAMP SLOPE IS STEEPER THAN 1:12 (MAX. RISE 30")                                | 4.8.2         | FILL THE VALLEY WITH NEW ASPHALT TO MATCH EXISTING  |
| RAMPS                 | SOUTH ENTRANCE BY GYMNASIUM       | 2       | 1       | CROSS SLOPE OF RAMP IS STEEPER THAN 1:50                                       | 4.8.6         | CUT AND REMOVE EXISTING CONC. PAD, RE-POUR CONC. PAD TO MEET FOLLOWING REQUIREMENTS:<br>- CROSS SLOP SHALL NOT BE STEEPER THAN 1:50<br>- RAMP SLOPE SHALL NOT BE STEEPER THAN 1:12<br>- LENGTH OF LEVEL LANDING SHALL NOT LESS THAN 60" |
| RAMPS                 | SOUTH ENTRANCE BY GYMNASIUM       | 2       | 1       | RAMP SLOPE IS STEEPER THAT 1:12 (MAX. RISE 30")                                | 4.8.2         |   |
| RAMPS                 | SOUTH ENTRANCE BY GYMNASIUM       | 2       | 1       | LENGTH OF LEVEL LANDING < 60" CLEAR BEYOND POINT WHERE RAMP STOPS SLOPING      | 4.8.4 (2)     |   |
| DOORS                 | SOUTH ENTRANCE BY GYMNASIUM       | 3       | 1       | EXISTING THRESHOLD > 3/4" HIGH (EXISTING FACILITY)                             | 4.1.6 (3) dii | PROVIDE THRESHOLD REDUCER ON THE EXTERIOR SIDE OF DOOR FRAME TO REDUCE THE THRESHOLD HEIGHT   |
| VERT. ACCESS          | WEST ENTRANCE                     | 4       | 1       | RAMP, ELEVATOR, OR PLATFORM (LIFT NOT PROVIDED FOR VERTICAL TRANSITIONS > 1/2" | 4.3.8         | CUT AND REMOVE EXISTING 6" HIGH DOOR PAD, POUR NEW CONC. RAMP AT MAX. 1:12 SLOPE  |
| DOORS                 | WEST ENTRANCE                     | 3       | 1       | EXISTING THRESHOLD > 3/4" HIGH (EXISTING FACILITY)                             | 4.1.6 (3) dii | PROVIDE THRESHOLD REDUCER ON THE EXTERIOR SIDE OF DOOR FRAME TO REDUCE THE THRESHOLD HEIGHT   |
| VERT. ACCESS          | NW ENTRANCE                       | 4       | 1       | RAMP, ELEVATOR, OR PLATFORM (LIFT NOT PROVIDED FOR VERTICAL TRANSITIONS > 1/2" | 4.3.8         | CUT AND REMOVE EXISTING 6" HIGH DOOR PAD, POUR NEW CONC. RAMP AT MAX. 1:12 SLOPE  |
| DOORS                 | NW ENTRANCE                       | 3       | 1       | EXISTING THRESHOLD > 3/4" HIGH (EXISTING FACILITY)                             | 4.1.6 (3) dii | PROVIDE THRESHOLD REDUCER ON THE EXTERIOR SIDE OF DOOR FRAME TO REDUCE THE THRESHOLD HEIGHT   |
| DOORS                 | SE GYM ENTRANCE                   | 3       | 1       | EXISTING THRESHOLD > 3/4" HIGH (EXISTING FACILITY)                             | 4.1.6 (3) dii | PROVIDE THRESHOLD REDUCER ON THE EXTERIOR SIDE OF DOOR FRAME TO REDUCE THE THRESHOLD HEIGHT   |
| DOORS                 | NORTH GYM ENTRANCE                | 3       | 1       | EXISTING THRESHOLD > 3/4" HIGH (EXISTING FACILITY)                             | 4.1.6 (3) dii | PROVIDE THRESHOLD REDUCER ON THE EXTERIOR SIDE OF DOOR FRAME TO REDUCE THE THRESHOLD HEIGHT   |

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CONVERT ONE OF THE ADA SIGNAGE INTO VAN PARKING SIGNAGE

FILL THE VALLEY WITH NEW ASPHALT TO MATCH EXISTING

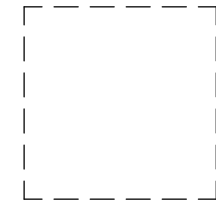
IMAGE # 1

GENERAL NOTES: APPLIED TO ALL SHEETS

1. IMAGES INCLUDED IN THIS DOCUMENT REPRESENT A SAMPLING OF THE FACILITIES CONDITIONS AND DO NOT INCLUDE ALL AREA OF WROK. A PREBID SITE WALK IS RECOMMENDED

LEGEND: APPLIES TO ALL SHEETS

INDICATES KNOWN AREAS IN NEED OF REPAIR: DOES NOT INDICATED ALL AREAS THAT WILL REQUIRE REPAIR OR REPLACEMENT. REFER TO GENERAL NOTES 1.



SCHEMATIC DESIGN

**EXISTING CONDITION PHOTOS  
LAUREL ELEMENTARY - VESTIBULE AND &  
IMPROVEMENT**

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IMAGE # 2

CUT AND REMOVE EXISTING CONC. PAD, RE-POUR CONC. PAD TO MEET FOLLOWING REQUIREMENTS:

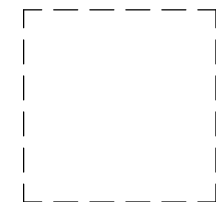
- CROSS SLOP SHALL NOT BE STEEPER THAN 1:50
- RAMP SLOPE SHALL NOT BE STEEPER THAN 1:12
- LENGTH OF LEVEL LANDING SHALL NOT LESS THAN 60"

GENERAL NOTES: APPLIED TO ALL SHEETS

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LEGEND: APPLIES TO ALL SHEETS

INDICATES KNOWN AREAS IN NEED OF REPAIR: DOES NOT INDICATED ALL AREAS THAT WILL REQUIRE REPAIR OR REPLACEMENT. REFER TO GENERAL NOTES 1.



SCHEMATIC DESIGN

EXISTING CONDITION PHOTOS  
LAUREL ELEMENTARY - VESTIBULE AND &  
IMPROVEMENT

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PROVIDE THRESHOLD REDUCER ON THE EXTERIOR SIDE OF DOOR FRAME TO REDUCE THE THRESHOLD HEIGHT, SEE DETAIL 2/A10.1

IMAGE # 3

GENERAL NOTES: APPLIED TO ALL SHEETS

1. IMAGES INCLUDED IN THIS DOCUMENT REPRESENT A SAMPLING OF THE FACILITIES CONDITIONS AND DO NOT INCLUDE ALL AREA OF WROK. A PREBID SITE WALK IS RECOMMENDED

SCHEMATIC DESIGN

**EXISTING CONDITION PHOTOS  
LAUREL ELEMENTARY - VESTIBULE AND &  
IMPROVEMENT**

**A14.3**

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12/12/2017

LEGEND: APPLIES TO ALL SHEETS

INDICATES KNOWN AREAS IN NEED OF REPAIR: DOES NOT INDICATED ALL AREAS THAT WILL REQUIRE REPAIR OR REPLACEMENT. REFER TO GENERAL NOTES 1.

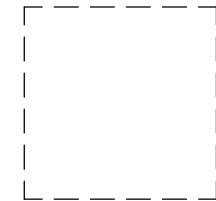






IMAGE # 4

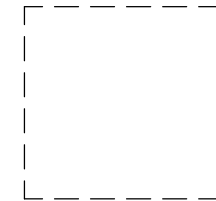
CUT AND REMOVE EXISTING 6" HIGH DOOR PAD, POUR NEW CONC. RAMP AT MAX. 1:12 SLOPE, SEE AD2.1 AND A2.1 FOR DEMO AND NEW CONSTRUCTION DETAIL

GENERAL NOTES: APPLIED TO ALL SHEETS

1. IMAGES INCLUDED IN THIS DOCUMENT REPRESENT A SAMPLING OF THE FACILITIES CONDITIONS AND DO NOT INCLUDE ALL AREA OF WROK. A PREBID SITE WALK IS RECOMMENDED

LEGEND: APPLIES TO ALL SHEETS

INDICATES KNOWN AREAS IN NEED OF REPAIR: DOES NOT INDICATED ALL AREAS THAT WILL REQUIRE REPAIR OR REPLACEMENT. REFER TO GENERAL NOTES 1.



**EXISTING CONDITION PHOTOS  
LAUREL ELEMENTARY - VESTIBULE AND &  
IMPROVEMENT**

**A14.4**

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